

Rev	Date	Description

**General Notes**

- Quality of all materials and workmanship to comply with the relevant SANS specifications and shall continue to the minimum standards specified in the Standard Conditions.
- The contractor is responsible for the correct setting out of the buildings. Any discrepancies are to be reported to the architect before carrying out any work.
- The contractor is to verify all levels, heights and dimensions on site and is required to check these dimensions against the drawings before carrying out any work.
- Drawings are not to be scaled with only figured dimensions to be taken.
- Minimum clearance heights in habitable rooms to be 2100mm.
- The contractor is to build in "Straggy" GPC's whether or not these are shown on the drawings to all external brick walls at each floor, base and parapet level and to all doors, windows, gables and other openings in external walls. Cavity walls to be staggered GPC's.
- Camp grouting and waterproofing materials to be applied in accordance with SANS Code 1001.
- All cavity walls to have brick wall ties in accordance with PPW-100.
- All concrete slabs, columns, retaining walls, to engineer's specifications.
- All open paved areas to be graded to fall, as determined on site.
- 110 Min. FFL to top of 230mm.
- Contractor to provide flashing to changes in roof levels & to parapet walls.
- Grading to comply with SANS 1000-A.
- Contractor to make good all damaged & defective work caused as a result of the works.
- ROOF CONSTRUCTION
- All roofs to have waterproofing and insulation as per specifications.

**Area Schedule**

Farm portion 156/504:	39.31 Hectare
Farm portion 412/504:	437.01 Hectare
Farm portion 1/515:	122.14 Hectare
Farm portion 588:	2 266.48 Hectare
<b>Total Farm Area:</b>	<b>2 864,94 Hectare</b>

**Legend**

- Farm Boundary (2.3m high fence)
- Flow Channels
- Catchment Areas
- Gravel Roads (average 3m width)

**Farm portion 412/504**

- Beta Gaurd House
- Staff Housing Bottom A-D
- Staff Housing
- EEC Building
- Office Complex
- Main House
- Staff Housing Top
- Bush Camp

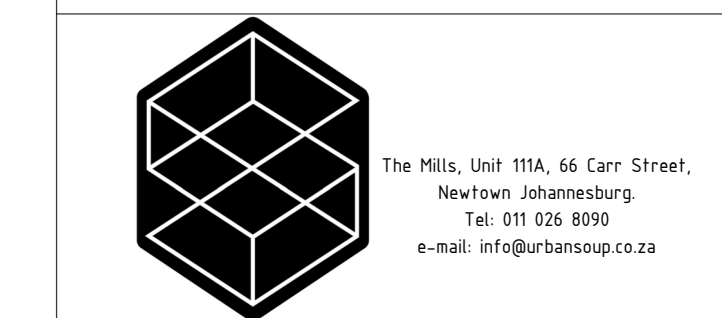
**Farm portion 588**

- Alpha Guard House
- Staff Complex
- Scavenger Hide
- Main Lodges 1,2,3
- Pool and Lapa
- Ranger
- Small Bush School

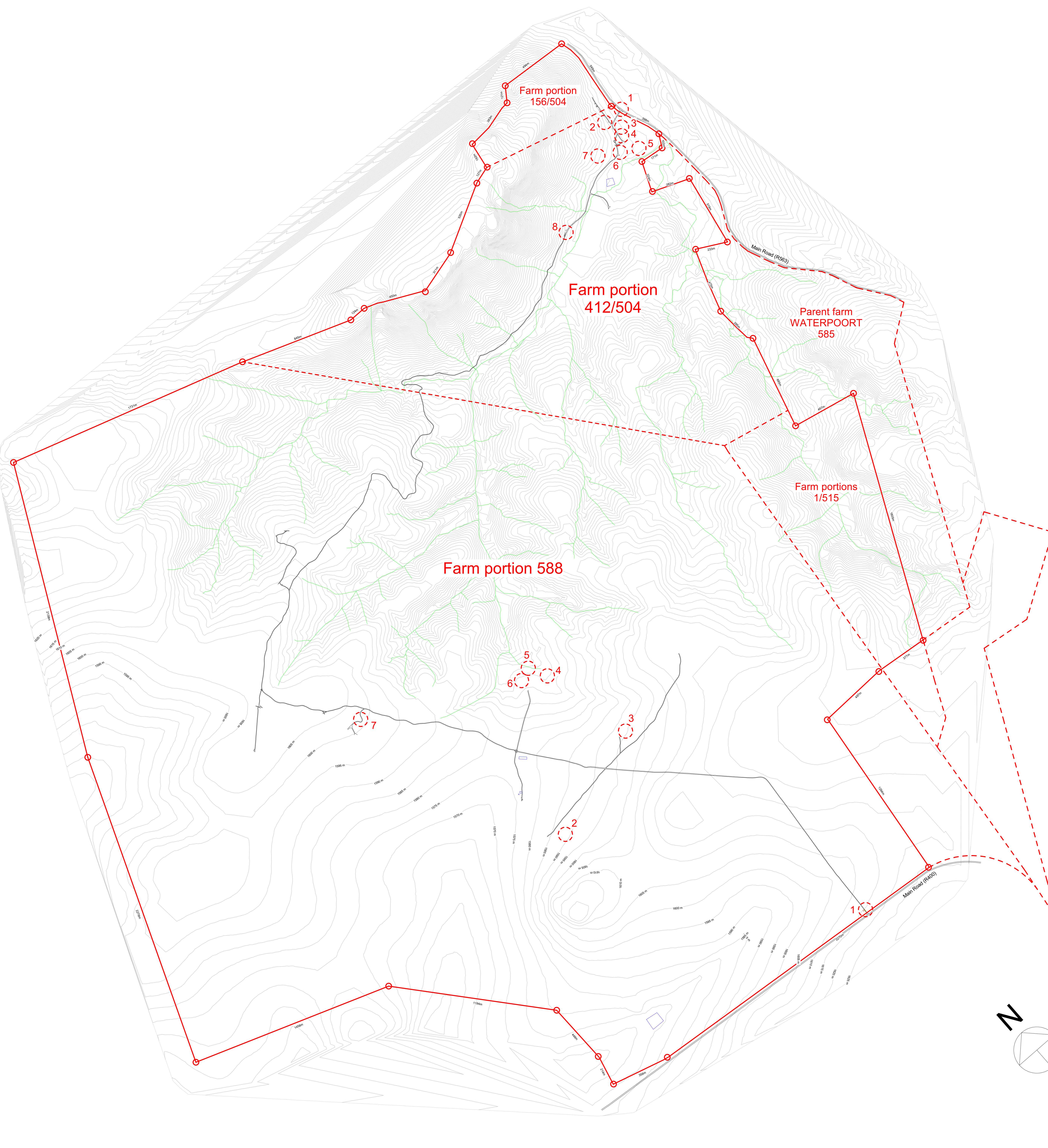
- 4.0 PLUMBING
- 4.1 All tanks, junctions & level changes to have IE's.
- 4.2 All waste fittings to have reset traps.
- 4.3 No tanks or junctions under the buildings.
- 4.4 HWB's to be fitted with vent - unless stated otherwise indicated.
- 4.5 All waste pipes and soil pipes from urinals to be 40 mm Ø.
- 4.6 All drainage to comply with SANS 1040-DP.
- 4.7 All pipes passing under buildings to be encased in 100 thick concrete 6:3.
- 4.8 IE's to have marked covers at ground level.
- 4.9 Stowed WPs to be easily accessible above floor level at each end of slope.
- 4.10 All WPs to be fully accessible along their entire length. WPs to be 50mm Ø unless otherwise stated.
- 4.11 IE's to have marked covers at ground level.
- 4.12 All waste fittings to have reset traps.
- 4.13 IE's to all WPs tanks & junctions. Vent pipes to be carried 300mm above roof to 1000mm above any door or window within 500mm of end of slope.
- 4.14 Provide access eyes at every 25m of soil pipes.
- 4.15 All IE's with soil pipes with greater drop than 1000mm to be adequately anti-siphoned.
- 4.16 WPs to be min. 2000mm from gables.
- 4.17 100mm PVC GPP to the head of each drain run.
- 4.18 Any existing drainage to be sealed off & disconnected where shown & work made good to match existing.

- 5.0 FIRE
- 5.1 Each unit to be smoke controlled with vents to be 1,5% of floor area.
- 5.2 FFR to comply with requirements contained in SANS 543.
- 5.3 Occupancy classification, light & ventilation to comply with SANS 1040-D.

- 6.0 ELECTRICAL
- 6.1 Light fittings, switches and plug points to be determined by owner on site.



Client <b>Standard Bank</b>			
Project <b>Mogale's Gate</b>			
Drawing Title <b>SDP_Farm Site Plan</b>			
Scale	Drawn by	Checked by	Date
1:10000@A0	RL	YO	12/10/20
Proj. No.	Dwg. No.	Revision	Stage
78	A 100		3



Rev	Date	Description

**General Notes**

11. Quality of all materials and workmanship to comply with the relevant SANS specifications and shall continue to the minimum standards specified in the standard drawings.

12. The contractor is responsible for the correct setting out of the buildings. Any discrepancies are to be reported to the architect before carrying out any work.

13. The contractor is to verify all levels, heights and dimensions on site and is required to check these dimensions against the drawings before carrying out any work.

14. Drawings are not to be scaled with any figured dimensions to be taken.

15. Minimum clearance heights in habitable rooms to be 2100mm.

16. The contractor is to build in "straggy" GPC's whether or not these are shown on the drawings to all external brick walls at each floor, base and parapet level and to all doors, windows, gables and other openings in external walls. Careful walls to be stopped GPC's.

17. Camp grouting and waterproofing materials to be applied in accordance with SANS Code 1002.

18. All cavity walls to have brick wall ties in accordance with PPW-100.

19. All concrete slabs, columns, retaining walls, to engineer's specifications.

20. All open paved areas to be graded to fall, as determined on site.

21. Min. 1% to 1% to be 20mm.

22. Contractor to provide flashing to changes in roof levels & to parapet walls.

23. Grading to comply with SANS 10400-01.

24. Contractor to make good all damaged & defective work caused as a result of the works.

**25. ROOF CONSTRUCTION**

25.1 All roofs to have waterproofing and insulation as per specifications.

**26. LIGHT AND VENTILATION**

26.1 Area of natural light to all habitable rooms to be a minimum of 10% of the floor area.

26.2 Ventilation to habitable rooms to be specified by the mechanical engineer in accordance with the NBS.

26.3 All light and ventilation to be in accordance with SANS 10400-0-2.

**4.0 PLUMBING**

4.1 All tanks, junctions & level changes to have 1" x 1" traps.

4.2 All waste fittings to have reset traps.

4.3 No tanks or junctions under the buildings.

4.4 HMB's to be fitted with vent valves except where otherwise indicated.

4.5 All waste pipes and soil pipes from urinals to be 40 mm Ø.

4.6 All drainage to comply with SANS 10400-0-2.

4.7 All pipes passing under buildings to be encased in 100 thick concrete 6:3:1.

4.8 1" x 1" to have marked covers at ground level.

4.9 Stoved WPs to be easily accessible above floor level at each end of slope.

4.10 All WPs to be fully accessible along their entire length. WPs to be 10mm Ø unless otherwise noted.

4.11 1" x 1" to have marked covers at ground level.

4.12 All waste fittings to have deep seal traps.

4.13 CE's to all WPs tanks & junctions. Vent pipes to be carried 300mm above roofs & 1000mm above any door or window within 1000mm of end of slope.

4.14 Provide access eyes at every 25m of soil pipes.

4.15 All WC's with soil pipes with greater drop than 1000mm to be adequately vented.

4.16 W/D's to be min. 2000mm from galleys.

4.17 100mm PVC GPP to the head of each drain run.

4.18 Any existing drainage to be sealed off & disconnected where shown & work made good to match existing.

**5.0 FIRE**

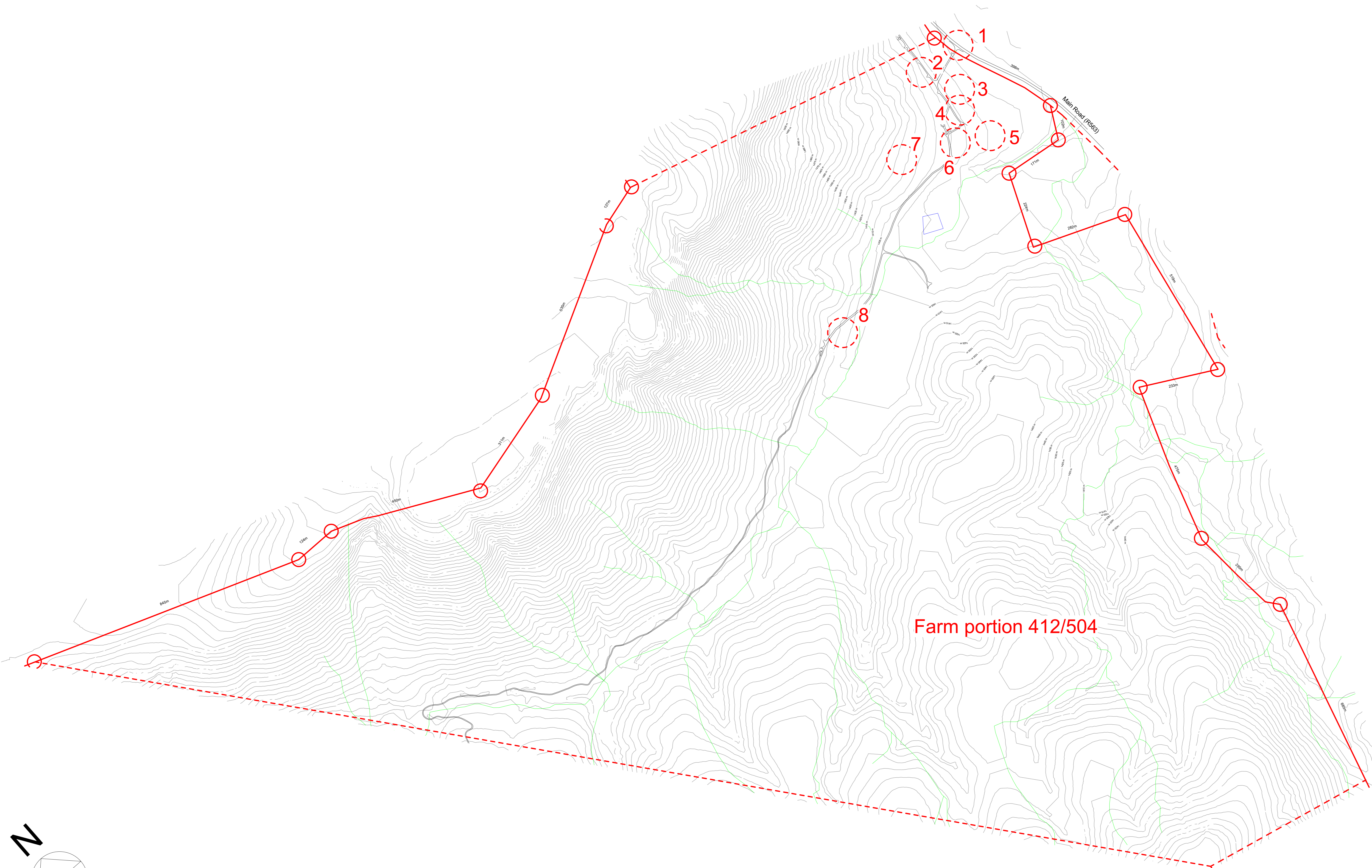
5.1 Each unit to be smoke controlled with vents to be 1,5% of floor area.

5.2 Fire to comply with requirements contained in SANS 543.

5.3 Occupancy classification, light & ventilation to comply with SANS 10400-0-2.

**6.0 ELECTRICAL**

6.1 Light fittings, switches and plug points to be determined by owner on site.



**Area Schedule**

Farm portion 156/504:	39.31 Hectare
Farm portion 412/504:	437.01 Hectare
Farm portion 1/515:	122.14 Hectare
Farm portion 588:	2 266.48 Hectare

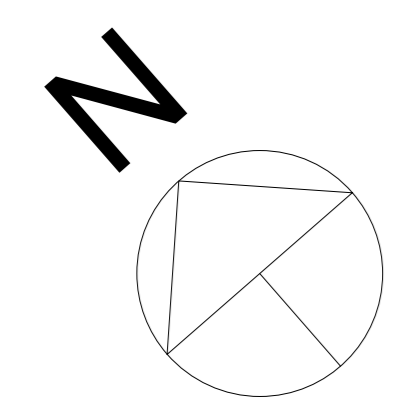
Total Farm Area: 2 864,94 Hectare

**Legend**

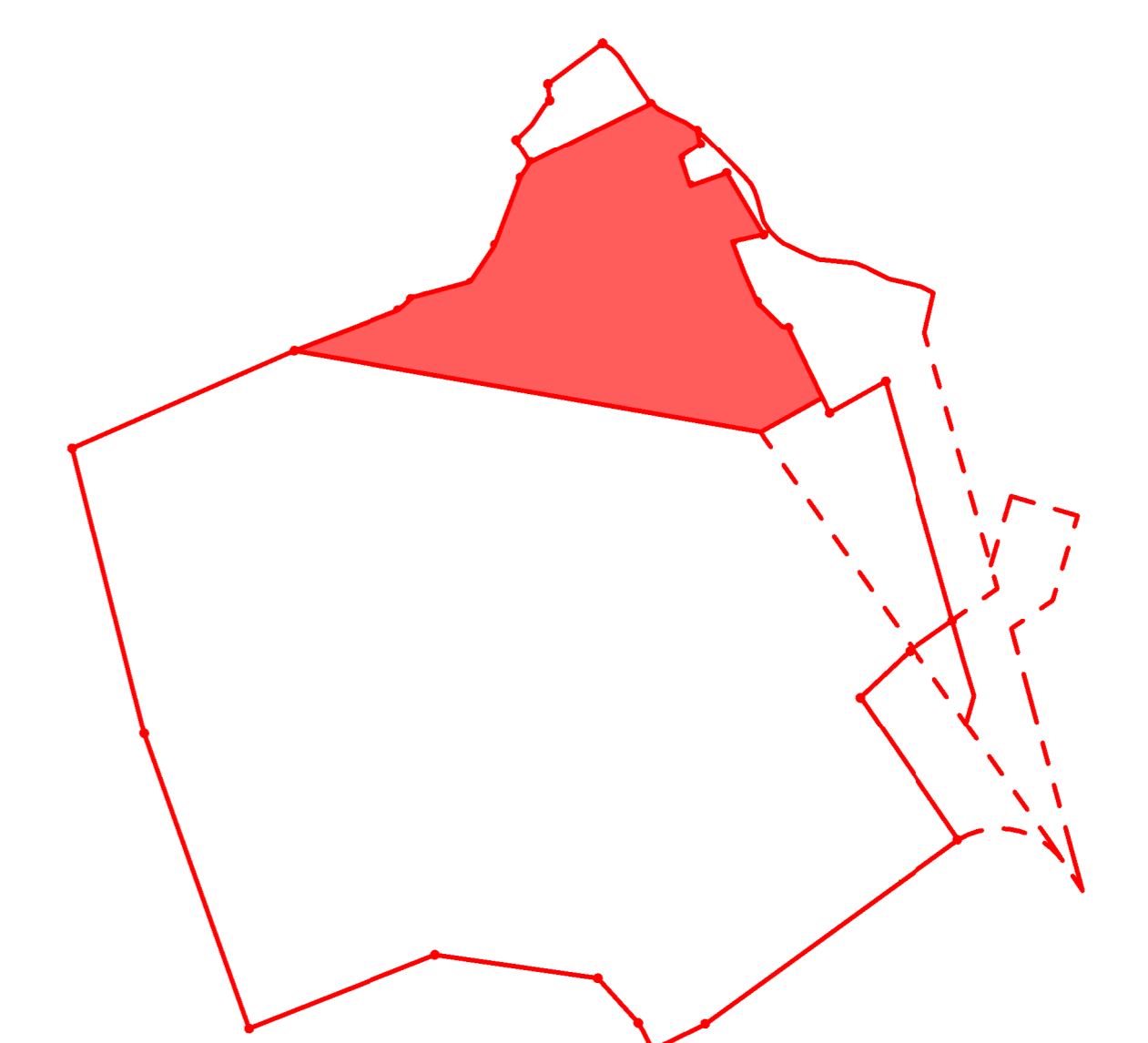
- Farm Boundary (2.3m high fence)
- Flow Channels
- Catchment Areas
- Gravel Roads (average 3m width)

**Farm portion 412/504**

1. Beta Gaurd House
2. Staff Housing Bottom A-D
3. Staff Housing
4. EEC Building
5. Office Complex
6. Main House
7. Staff Housing Top
8. Bush Camp



2 Farm portion 412/504  
1 : 5000



1 Farm portion 412/504 KEY  
1 : 50000



**Client**  
Standard Bank

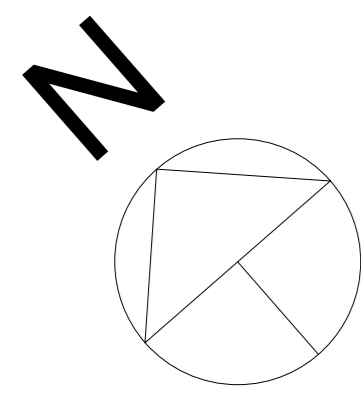
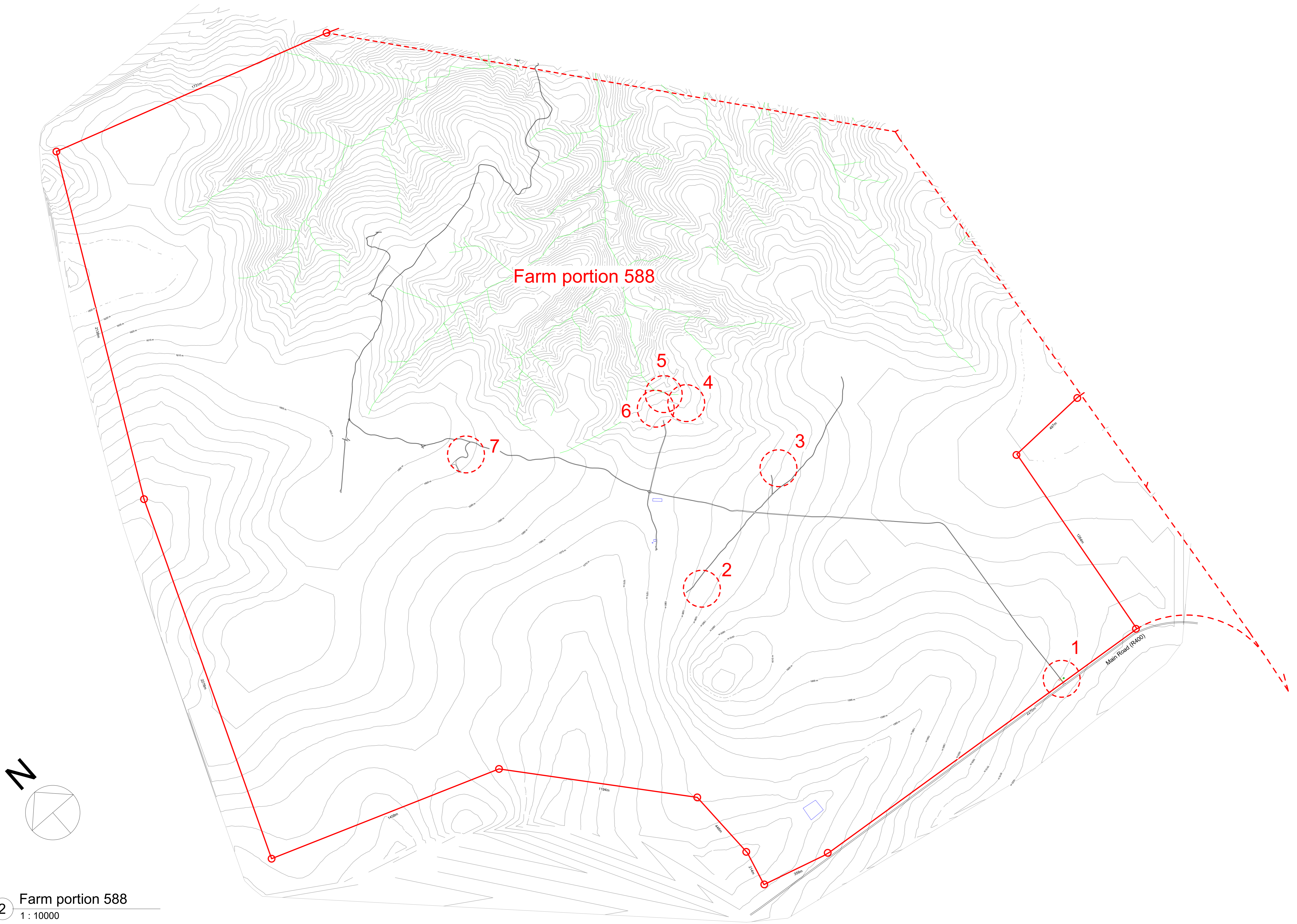
**Project**  
Mogale's Gate

**Drawing Title**  
SDP\_Farm portion 412/504 Site Plan

Scale	Drawn by	Checked by	Date
As indicated	AD	RL	YO
12/10/20			
Proj. No.	Des. No.	Revision	Stage
78	A	101.1	3

Rev	Date	Description

- General Notes**
- 11 Quality of all materials and workmanship to comply with the relevant SANS specifications and shall conform to the minimum standards specified in the Standard Conditions.
  - 12 The contractor is responsible for the correct setting out of the buildings. Any discrepancies are to be reported to the architect before carrying out any work.
  - 13 The contractor is to verify all levels, heights and dimensions on site and is required to check these dimensions against the drawings before carrying out any work.
  - 14 Drawings are not to be scaled with any figured dimensions to be taken.
  - 15 Minimum clearance heights in habitable rooms to be 2100mm.
  - 16 The contractor is to build in "Stragor" GPC's whether or not these are shown on the drawings for all external brick walls at each floor, base and parapet level and for all doors, windows, gables and other openings in external walls. Cavity walls to be staggered GPC's.
  - 17 Camp grouting and waterproofing materials to be applied in accordance with SANS Code 1001.
  - 18 All cavity walls to have brick wall ties in accordance with PPW-100.
  - 19 All concrete slabs, columns, retaining walls, to engineer's specifications.
  - 20 All open paved areas to be graded to Falls, as determined on site.
  - 21 The 100 mm FFB to be 200mm.
  - 22 Contractor to provide flashing to changes in roof levels & to parapet walls.
  - 23 Grating to comply with SANS 10400-04.
  - 24 Contractor to make good all damaged & defective work caused as a result of the works.
  - 25 ROOF CONSTRUCTION
  - 26 All roofs to have waterproofing and insulation as per specifications.
  - 27 LIGHT AND VENTILATION
  - 28 Area of natural light to all habitable rooms to be a minimum of 10% of the floor area.
  - 29 Ventilation to habitable rooms to be specified by the mechanical engineer in accordance with the NBS.
  - 30 All light and ventilation to be in accordance with SANS 10400-0.
  - 4.0 PLUMBING
  - 4.1 All bends, junctions & level changes to have 1/2" x 1/2" wash fittings to have reset traps.
  - 4.2 No bends or junctions under the buildings.
  - 4.3 All M&B's to be fitted with vent valves marked where otherwise indicated.
  - 4.4 All wash pipes and soil pipes from urinals to be 40 mm Ø.
  - 4.5 All drainage to comply with SANS 10400-0.
  - 4.6 All pipes passing under buildings to be encased in 100 thick concrete 6:3:1.
  - 4.7 IE's to have marked covers at ground level.
  - 4.8 Stopped WP's to be easily accessible above floor level at each end of slope.
  - 4.9 All WP's to be fully accessible along their entire length. WP's to be 100mm Ø unless otherwise noted.
  - 4.10 IE's to have marked covers at ground level.
  - 4.11 All wash fittings to have deep seal traps.
  - 4.12 IE's to all WP's bends & junctions. Vent pipes to be carried 1000mm above roof to 1000mm above any door or window within 1000mm of end of slope.
  - 4.13 Provide access eyes at every 25m of soil pipes.
  - 4.14 All VC's with soil pipes with greater than 1000mm to be adequately vented.
  - 4.15 W/DP's to be min. 2000mm from galleys.
  - 4.16 100mm PVC DTP to the head of each drain run.
  - 4.17 Any existing drainage to be sealed off & disconnected where shown & work made good to match existing.
  - 5.0 FIRE
  - 5.1 Each unit to be smoke controlled with vents to be 1, 5% of floor area.
  - 5.2 FFB to comply with requirements contained in SANS 543.
  - 5.3 Occupancy classification, light & ventilation to comply with SANS 10400-0.
  - 6.0 ELECTRICAL
  - 6.1 Light fittings, switches and plug points to be determined by owner on site.



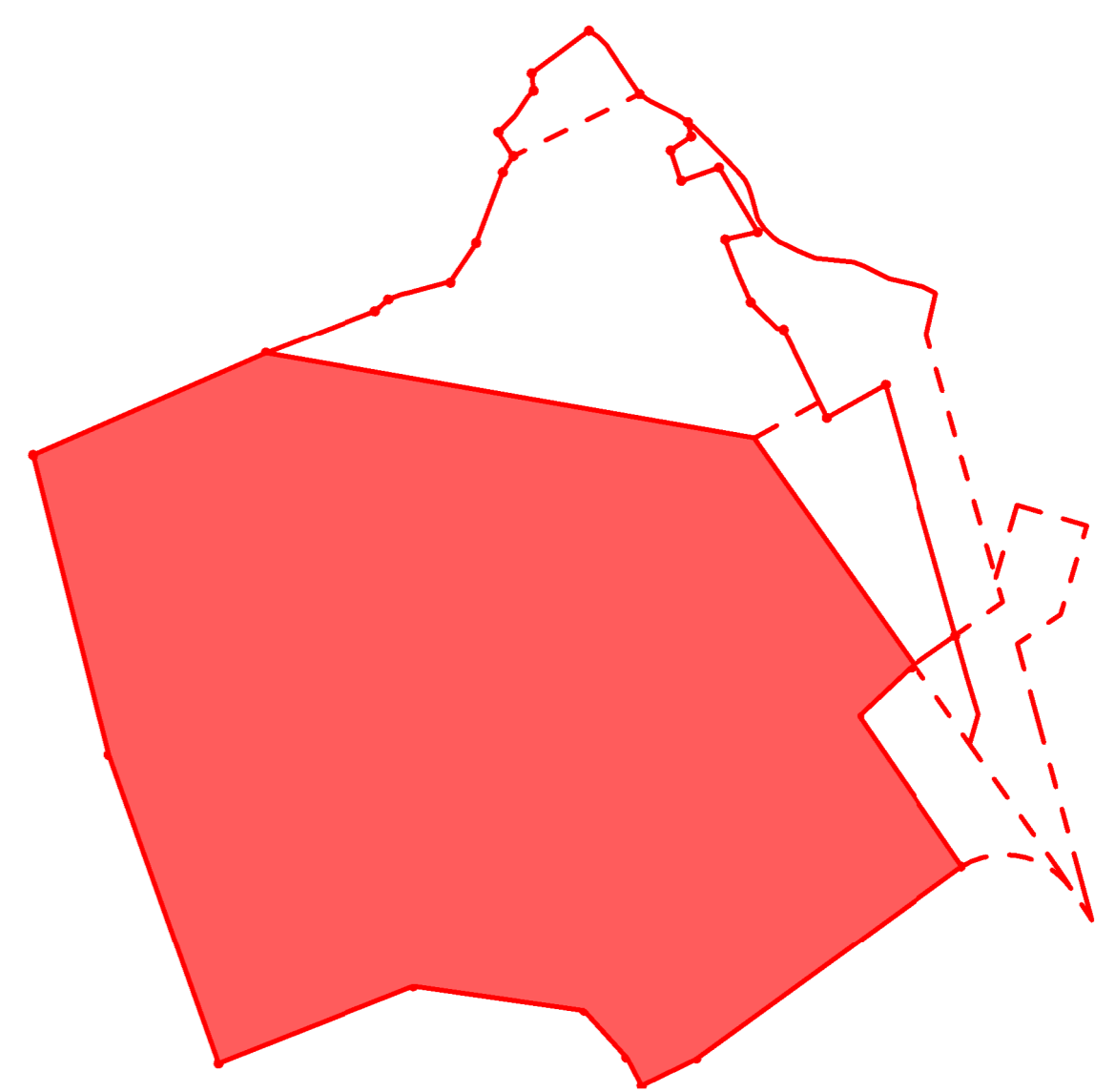
**2** Farm portion 588  
1 : 10000

**Area Schedule**

Farm portion 156/504:	39.31 Hectare
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<b>Total Farm Area:</b>	<b>2 864,94 Hectare</b>

- Legend**
- Farm Boundary (2.3m high fence)
  - Flow Channels
  - Catchment Areas
  - Gravel Roads (average 3m width)

- Farm portion 588**
1. Alpha Guard House
  2. Staff Complex
  3. Scavenger Hide
  4. Main Lodges 1,2,3
  5. Pool and Lapa
  6. Ranger
  7. Small Bush School



**1** Farm portion 588 KEY  
1 : 50000



The Mills, Unit 101A, 66 Carl Street, Newtown Johannesburg, Tel: 011 500 8990, e-mail: info@urbansoup.co.za

<b>Client</b>			
Standard Bank			
<b>Project</b>			
Mogale's Gate			
-			
<b>Drawing Title</b>			
SDP_Farm Portion 588 Site Plan			
-			
Scale	Drawn by	Checked by	Date
As indicated/AD	RL	YO	12/10/20
Proj. No.	Dwg No.	Revision	Stage
78	A 101		3

